

CIVIL/SITE CONSTRUCTION PLANS  
PRELIMINARY AND FINAL PUD SITE PLAN  
MISSOURI RIVER BLUFF CONDOMINIUMS  
1414 WEST MAIN STREET  
JEFFERSON CITY, MO  
ZONED PUD

AUGUST 2005

UTILITY COMPANIES

Water:  
Missouri-American Water Company  
906 West High Street  
Jefferson City, MO 65101  
Contact: Kevin Eveler 573-635-6111

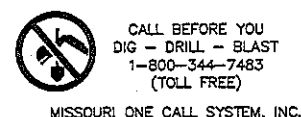
Electric:  
Ameren UE  
Engineering Department  
Jefferson City, MO  
Contact: 573-681-7522

Telephone:  
Sprint  
3546 N. Ten Mile Drive  
Jefferson City, MO 65109  
Contact: Dan Bernskoetter  
573-634-1686

Gas:  
Ameren UE  
Engineering Department  
Jefferson City, MO  
Contact: 573-681-7522

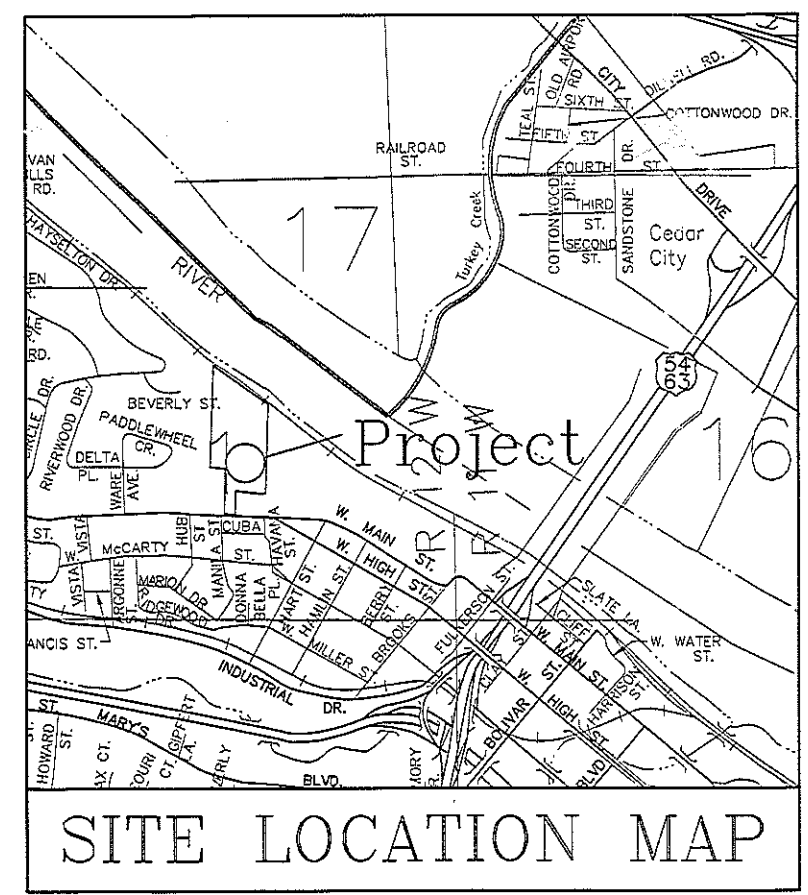
Sanitary & Storm Sewer:  
City of Jefferson Dept. of Community  
Development  
320 East McCarty Street  
Jefferson City, MO 65101  
Contact: Jim Fischer 573-634-6410

Television:  
Mediacom  
1922 Southridge Drive  
Jefferson City, MO 65109  
Contact: Heath Little 573-635-0245



NOTE: The Contractor will be responsible to call the Missouri One Call System 1-800-344-7483 and have the underground utilities marked or remarked prior to any construction.

NOTE: UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES, HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.



INDEX TO SHEETS:

- C100 Title Sheet
- C101 Overall Site Layout and General Notes
- C102 Site Layout and Grading (Entrance and Buildings)
- C103 Overall Grading Plan and Street Profile
- C104 Site Details

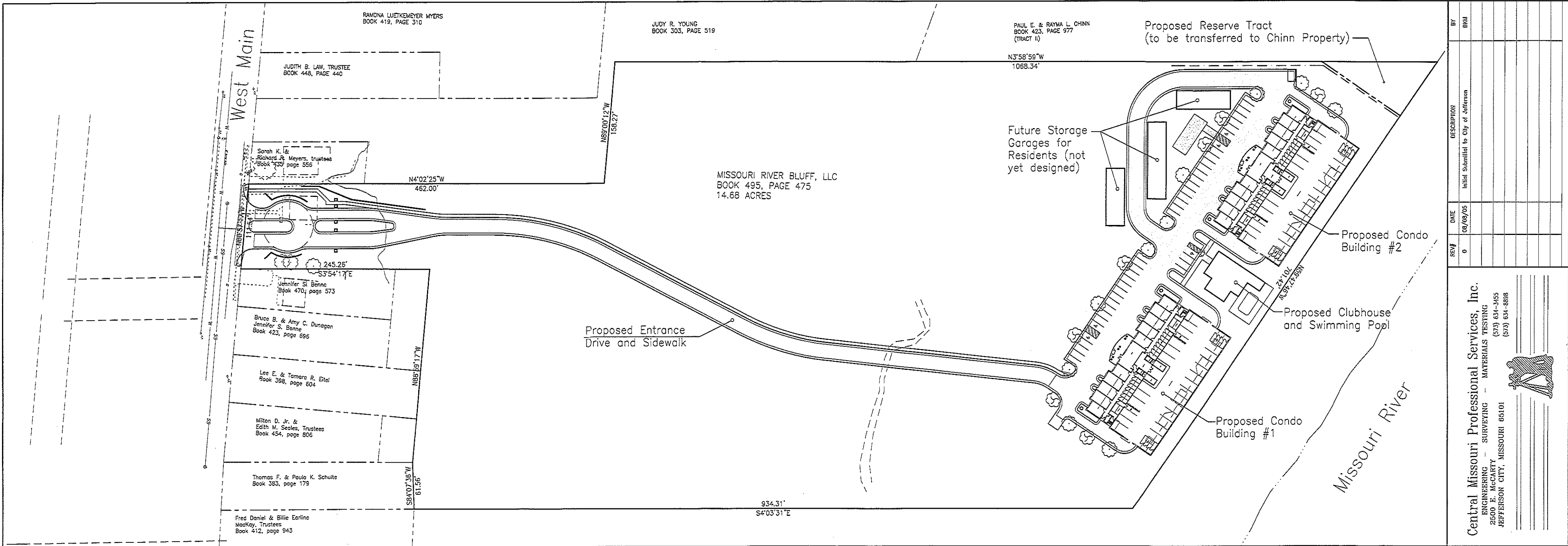
PUD Approval Signatures:

Michael Berendson  
Commissioner

Patrick E. Sullivan, P.E.  
Director of Community Development

Date

REV	0	DATE	08/09/05	DESCRIPTION	Initial Submitted to City of Jefferson	BY	BKM
Central Missouri Professional Services, Inc. ENGINEERING - SURVEYING - MATERIALS TESTING 2800 E. McCARTY JEFFERSON CITY, MISSOURI 65101 (573) 634-3455 (573) 634-8898							
PRELIMINARY							
Project: SITE PLAN - Missouri River Bluffs Condominiums							
Client: Paul Chinn and Dick Olke							
Location: 1414 West Main Street Jefferson City, MO							
CMPS JOB No. 03-137							
DRN. BY BKM CKD. BY RMB							
FIELD BOOK:							
SHEET TITLE PROJECT INFORMATION							
SHEET NUMBER C100							



BY  
BKM

DESCRIPTION  
Initial Submitted to City of Jefferson

DATE  
08/09/05

REV#  
0

Central Missouri Professional Services, Inc.  
ENGINEERING - SURVEYING - MATERIALS TESTING  
2500 E. McCARTY  
JEFFERSON CITY, MISSOURI 65101  
(573) 634-3455  
(573) 634-8838

GENERAL NOTES:  
1. All work shall comply with the Jefferson City, Missouri Codes and Standards, Technical Specifications, and all other applicable requirements.  
2. It is the contractor's responsibility to obtain all necessary permits associated with the installation, notify municipal and state agencies and utility companies having jurisdiction, and to coordinate all inspection required.  
3. Location of existing utilities are from best information available. Exact location and completeness are not guaranteed. Prior to construction the Contractor shall contact all utility companies concerned. (1-800-DIG-RITE Missouri One Call) If this data is not complete, make test pits and other field locations necessary in order to determine the exact locations of the concerned utilities. Any existing utilities, structures, trees, or other objects which could interfere with the correct completion of the project are also to be located by the Contractor. Any conflicts are to be addressed to the Engineer prior to construction. Additional work resulting from a failure to initially address these items will be at the expense of the Contractor.  
4. Contractor to be responsible for the protection of new and existing structures, vegetation, walkways, or improvements. No trees outside cuts and fills are to be removed without the approval of the Engineer. No fill is to be placed around existing trees. Damages resulting from construction activities are to be repaired by Contractor at no additional cost to Owner. Any damages shall be brought to the immediate attention of the Engineer.  
5. All written dimensions, coordinates, bearings, and other written data govern. Prior to starting work all data is to be verified by the contractor.  
6. Unless Noted Otherwise (UNO) all parking radii are 5', drive intersection radii are 10', drive widths are 25', and parking stalls are 9'x 20'. Distances are measured from back of curb.  
7. Consult Engineer regarding proposed changes, relocation, or modifications prior to the start of work.  
8. Locations of all existing topographical features are based upon a survey by Central Missouri Professional Services. DATUM BENCH MARK USGS ELV. \_\_\_\_\_ is located at \_\_\_\_ Contractor shall use this bench mark for all work performed.  
9. Light duty asphalt pavement to be 1 1/2" surface course & 2 1/2" base course placed on 4" of rolled stone base or 5" thick concrete with 10" max joints. Heavy Duty pavement is to be 2" surface course & 4" base course placed on 4" of rolled stone base or 6" thick concrete with 12" max joints. Heavy Duty pavement will be placed on all drive areas. All parking stalls may be Light Duty. The pavement shall be isolated from rocks greater than 4" in diameter by a distance equal to the diameter of the rock. This may be done by placing a compacted earth or crushed stone layer over the rock.  
10. Site Criteria: Total paved area is approx. 37,239 SF.  
Total number of stalls is 113  
Open Parking Garage 50  
Individual Parking Garages 20  
Regular 38  
Handicap 5  
Parking Required is based upon 2 spaces required per unit.  
There are a total of 48 units, requiring 96 parking spaces.  
11. The new curb and gutter is to match the existing curb and gutter. If for any reason the curb detail will not allow an adequate match, a revised detail is to be submitted to the Engineer for approval. Use existing concrete joint to tie new curbing to the existing. Maximum spacing on curb and gutter joints shall be 10 feet.  
12. All exposed areas of disturbed earth are to be finish graded and sodded/seeded as per the requirements of a local nursery licensed by the State of Missouri.  
13. All fill under pavement is to have 95% compaction. All cut areas under pavement are to be treated as the final lift of fill and compacted to 95%. Non compressible fill materials such as crushed rock with minimal fines may be used instead of compacted fill in trenches.

FLOODPLAIN INFORMATION: A portion of this property does lie within the 100 Year Flood Plain per FEMA Map Community Panel Number 280108 0004C. The Base Flood Elevation is a maximum of 558.00 on this property.  
BUILDING NOTE: Architectural Style  
SIGNAGE NOTE: Signage is proposed at the Entrance off of West Main Street. Two small black walls are shown that will have raised metal letters with ground lights providing illumination.  
LANDSCAPING NOTE: No Bufferyards are required for this development. All disturbed areas will be re-planted and landscaped. See tree calculation for details regarding the parking lot shading.  
STORMWATER NOTES: See sheet C102 and C103 for stormwater details.  
SITE LIGHTING NOTE: Light poles are proposed along the entry drive to provide a minimum amount of lighting.  
FLOOR AREA RATIO: 95,760/639,463 SQFT = 0.15

PROPERTY DESCRIPTION  
PART OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 44 NORTH, RANGE 12 WEST, IN THE CITY OF JEFFERSON, COLE COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT ON THE NORTH LINE OF MAIN STREET, 518.4 FEET EAST OF THE WEST LINE OF SAID QUARTER SECTION, SAID POINT OF BEGINNING ALSO BEING THE SOUTHEAST CORNER OF A TRACT OF LAND THAT JOHN A. MEYER BOUGHT OF JENNIE JENKINS ON APRIL 12, 1923, AS RECORDED IN BOOK 57, PAGE 329, COLE COUNTY RECORDER'S OFFICE; THENCE FROM SAID POINT OF BEGINNING NORTH PARALLEL TO THE WEST LINE OF SAID QUARTER SECTION TO A POINT THAT STANDS 245.5 FEET NORTH OF THE NORTH LINE OF MAIN STREET AND 518.2 FEET EAST OF THE WEST BOUNDARY LINE OF SAID QUARTER SECTION; THENCE EASTERLY, PARALLEL WITH MAIN STREET, 251.4 FEET; THENCE NORTH 85 DEGREES EAST, (MAGNETIC) 63 FEET; THENCE NORTH 5 DEGREES WEST, 880 FEET MORE OR LESS TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE MISSOURI PACIFIC RAILWAY; THENCE WESTERLY ALONG AND WITH SAID RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF TRACT II OF A DEED OF RECORD IN BOOK 423, PAGE 977, COLE COUNTY RECORDER'S OFFICE; THENCE SOUTHERLY ALONG THE EASTERLY BOUNDARY OF TRACT II OF SAID DEED OF RECORD IN BOOK 423, PAGE 977, 658 FEET, MORE OR LESS TO THE SOUTHEASTERLY CORNER THEREOF AND SAID CORNER BEING THE NORTHEASTERLY CORNER OF A TRACT DESCRIBED BY DEED OF RECORD IN BOOK 303, PAGE 519, COLE COUNTY RECORDER'S OFFICE; THENCE ALONG THE BOUNDARY OF SAID TRACT DESCRIBED IN BOOK 303, PAGE 519, THE FOLLOWING COURSES: SOUTH PARALLEL WITH THE LINE ON THE WEST SIDE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, TO A CORNER ON THE EASTERLY BOUNDARY OF SAID TRACT DESCRIBED IN BOOK 303, PAGE 519; THENCE SOUTH 88 1/2 DEGREES EAST, 2.45 CHAINS; THENCE SOUTH PARALLEL WITH THE LINE ON THE WEST SIDE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, 7 CHAINS TO THE NORTH LINE OF MAIN STREET; THENCE LEAVING THE BOUNDARY OF SAID TRACT DESCRIBED IN BOOK 303, PAGE 519, EAST ALONG AND WITH THE NORTH LINE OF MAIN STREET, 169 LINKS TO THE POINT OF BEGINNING.

TREE CALCULATION SPREADSHEET  
Input area of pavement == 37239 Coverage Required= 13033.65  
White Ash "Autumn Applause" (fralinus americanus) (2.5" Caliper)  
Half Tree= 638  
Full Tree= 1256  
3/4 Tree= 942  
Trees Shown==> Full 1 Half 5 3/4 Tree 4 Total Coverage= 8164  
Swamp White Oak (Quercus bicolor)  
Half Tree= 981  
Full Tree= 1962  
3/4 Tree= 1471.5  
Trees Shown==> Full 0 Half 7 3/4 Tree 0 Total Coverage= 6867  
Total Coverage= 15031  
Total Required= 13034  
NOTE: Entrance and Driveway not included in the tree calculation. The Driveway will be left as natural as possible with minimal disturbance to the existing forest and vegetation.

CALL BEFORE YOU DIG - DRILL - BLAST  
1-800-344-7483  
(TOLL FREE)  
MISSOURI ONE CALL SYSTEM, INC.  
NOTE: The Contractor will be responsible to call the Missouri One Call System 1-800-344-7483 and have the underground utilities marked or remarked prior to any construction.  
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Project:  
SITE PLAN - Missouri River Bluffs Condominiums

Client:  
Paul Chinn and Dick Onke

Location:  
1414 West Main Street  
Jefferson City, MO

CMPS JOB No. 03-137

DRN. BY BKM CKD. BY RMB

FIELD BOOK:

SHEET TITLE  
Overall Site Layout and General Notes

SHEET NUMBER  
C101

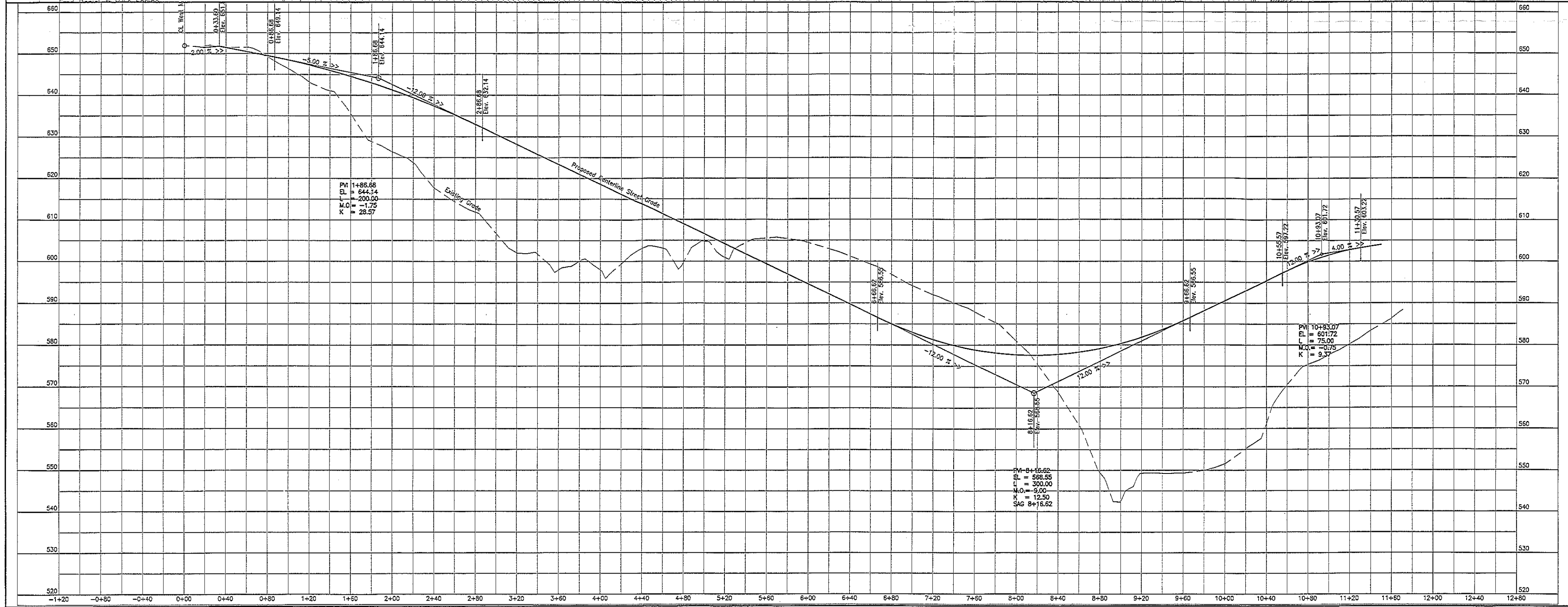
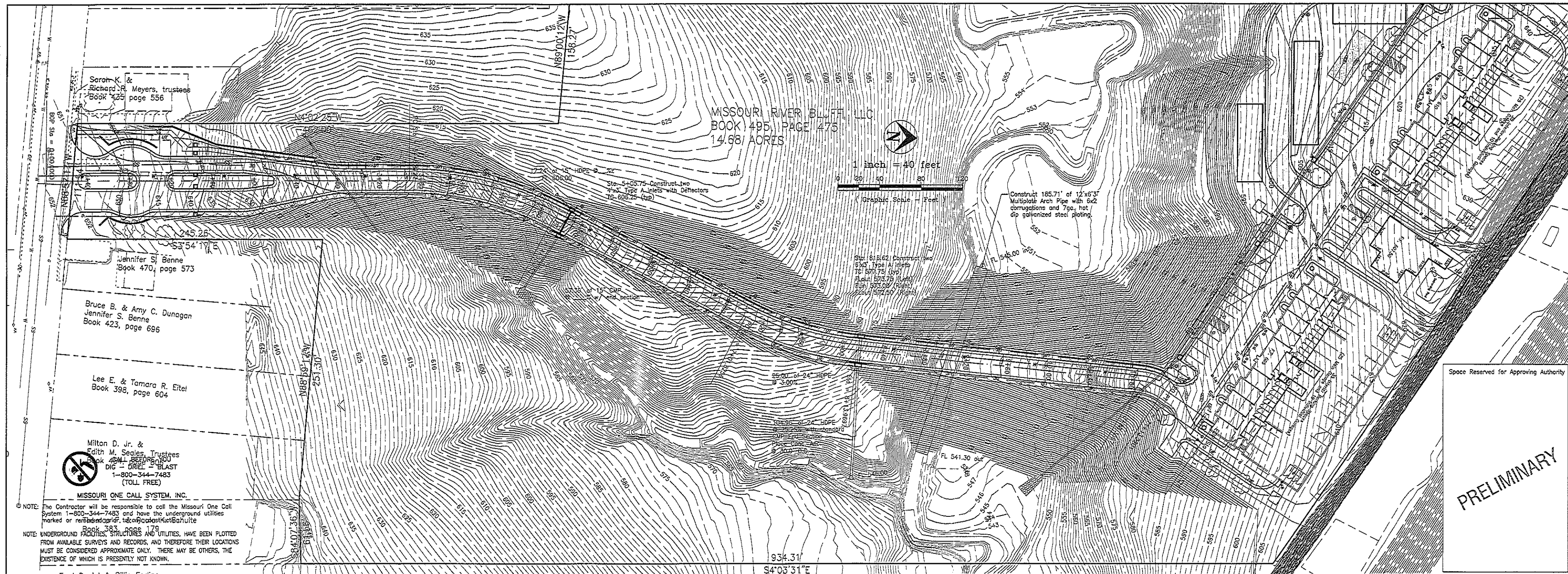
PRELIMINARY

Space Reserved for Approving Authority









REV	DATE	DESCRIPTION
0	09/09/05	Initial Submitted to City of Jefferson

Central Missouri Professional Services, Inc.	
ENGINEERING - SURVEYING - MATERIALS TESTING	(573) 631-3455
2500 E. McCARTY	(573) 631-8888
JEFFERSON CITY, MISSOURI 65101	

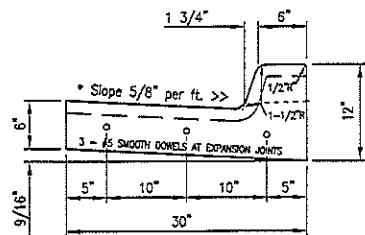
Space Reserved for Approving Authority

**PRELIMINARY**

**STATE OF MISSOURI**  
**PROFESSIONAL ENGINEER**  
**PC-2000-0009**  
**PAUL CHINN**

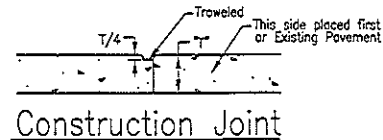
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<b>Client:</b>	Paul Chinn and Dick Olke
<b>Location:</b>	1414 West Main Street Jefferson City, MO

CMPS JOB No.	03-137		
DRN. BY	BKM	CKD. BY	RMB
FIELD BOOK:			
SHEET TITLE			
ENTRANCE ROAD GRADING PLAN AND PROFILE			
SHEET NUMBER			
C103			

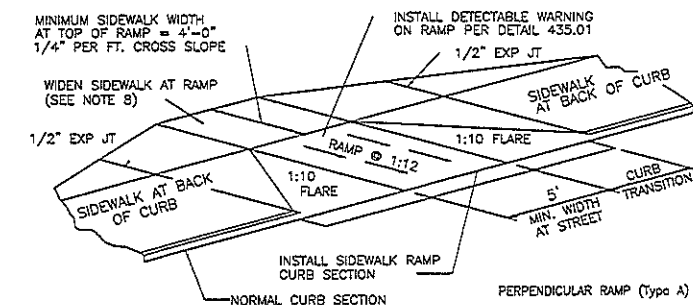
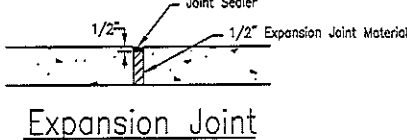
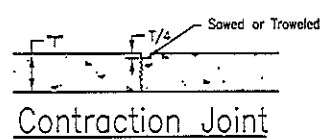


- NOTES:
- 3/4" expansion joints with 3" dowels to be placed at radius points, drive approaches, and 300' minimum intervals. These dowels shall be greased and wrapped on one end with expansion lube.
  - 1-1/2" deep contraction joints shall be installed at approx. 10' intervals. These joints shall pass through the entire curb section.
  - Fix dowels with bar chairs or equivalent.
  - \* If the pavement slopes away from the curb the slope of the curb should match that of the pavement not 5/8" per ft. toward the curb.

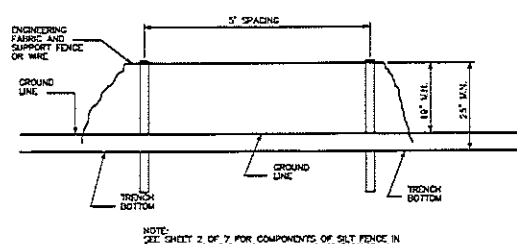
1 CONCRETE CURB & GUTTER  
C104 No Scale



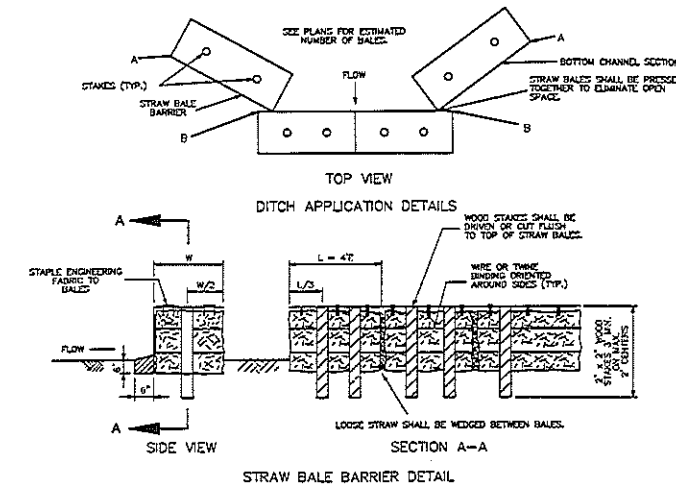
2 TYPICAL CONCRETE JOINT DETAILS  
C104 No Scale



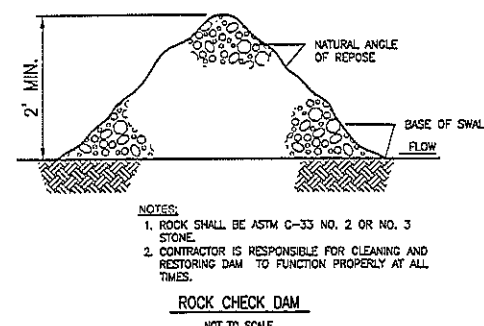
5 ADA RAMP DETAIL  
C104 No Scale



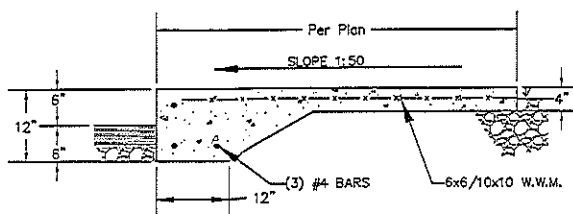
6 SILT FENCING  
C104 NO SCALE



7 STRAW BALE DITCH CHECK  
C104 NO SCALE



8 STRAW BALE DITCH CHECK  
C104 NO SCALE



9 INTEGRAL SIDEWALK AND CURB  
C104 NO SCALE

#### Erosion Control Notes:

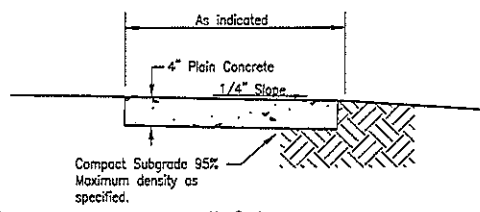
This Site is greater than 5 acres and therefore falls under the requirements of a Missouri DNR Land Disturbance Permit. The Owners of the property have submitted for approval of this permit. As a result, a Stormwater Pollution Prevention Plan has been developed for this property.

- The Contractor shall install erosion control measures as shown on the drawings prior to beginning earthwork operations.
- The Contractor shall maintain all silt control measures during construction.
- All silt shall remain on site and surrounding streets shall be kept clear of all mud and debris.
- A sedimentation barrier is to be installed as shown. The barrier shall be constructed of either: (a.) A continuous line of touching hay bales placed end to end and securely staked to prevent movement of the bales. (See detail this sheet) (b.) A continuous silt fence installed as detailed on this sheet.
- Accumulated sediment shall be removed and the sedimentation barriers maintained as needed to prevent sedimentation bypass of the barrier.
- Slopes are to be left in a rough condition during grading.
- Curb inlet sedimentation barriers are to be installed around inlets and weirs where sedimentation is a concern. Inlet barriers shall be either block and gravel, or secured straw bales, or silt fence.
- Erosion control measures are to remain in place until 70% ground cover has been established.
- Sediment is to be removed from storm water drainage systems.
- Rip rap is to be installed at areas of concentrated flow (i.e. culvert outlets).
- Contractor is responsible for installing any additional erosion control as he/she deems necessary.
- The Contractor shall provide all materials, tools, equipment and labor as necessary to install and maintain adequate erosion and siltation controls required to prevent soil erosion from leaving the project site. It shall be the Contractor's sole responsibility to ensure that methods utilized are adequate and comply with requirements of the specifications and governmental agencies having jurisdiction over the work.
- The Contractor shall have the responsibility for resolving complaints in the event that complaints or damage claims are filed due to damages occurring adjacent to or downstream from property by sediment resulting from erosion on the project site.
- At completion of site grading and other related construction activities, all disturbed areas within the project site shall be seeded, sodded, or landscaped, as shown on the landscape plan.
- Topsoil is to be placed in areas unsuitable for vegetative growth.
- Temporarily seed any disturbed areas which will not be brought to final grade within 30 days.

#### CONSTRUCTION ENTRANCE NOTES

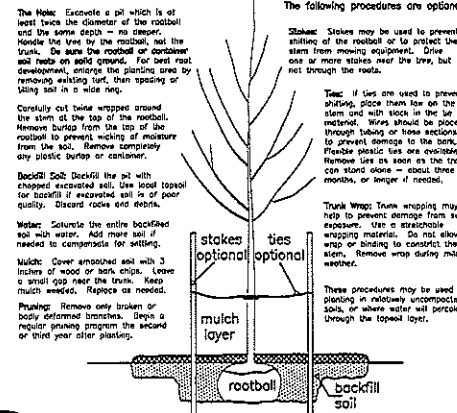
- Stone size - Use 2" stone or reclaimed or recycled equivalent.
- Length - as required, but not less than 50 feet.
- Thickness - Not less than six (6) inches.
- Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Fiber Cloth - Will be placed over the entire area prior to placing of stone.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3:1 slopes shall be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection as needed maintenance shall be provided after each rain.

NOTE: Layout Sidewalk Joints as shown on the site plan Sheet C102.



3 TYPICAL SIDEWALK SECTION  
C104 No Scale

Reference: City of Jefferson Zoning Ordinance - Appendix B.1  
STANDARD TREE PLANTING DETAIL



4 CITY TREE PLANTING DETAIL  
C104

Central Missouri Professional Services, Inc.  
ENGINEERING - SURVEYING - MATERIALS TESTING  
2600 E. McCARTY  
JEFFERSON CITY, MISSOURI 65101  
(313) 834-3555  
(313) 834-8888



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CMPJS JOB No. \_\_\_\_\_  
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FIELD BOOK: \_\_\_\_\_  
SHEET TITLE: PROJECT INFORMATION  
SHEET NUMBER: C104